

## Licensing Sub-Committee

Wednesday 27 September 2017

10.00 am

Ground Floor Meeting Room G02B - 160 Tooley Street, London SE1 2QH

### Membership

Councillor Renata Hamvas (Chair)  
Councillor David Hubber  
Councillor Adele Morris

### Reserves

Councillor Sunil Chopra

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**Contact:** Andrew Weir on 020 7525 7222 or email: [andrew.weir@southwark.gov.uk](mailto:andrew.weir@southwark.gov.uk)

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Members of the committee are summoned to attend this meeting

**Eleanor Kelly**

Chief Executive

Date: 19 September 2017



## Licensing Sub-Committee

Wednesday 27 September 2017  
10.00 am

Ground Floor Meeting Room G02B - 160 Tooley Street, London SE1 2QH

### Order of Business

Item No.	Title	Page No.
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#### **PART A - OPEN BUSINESS**

**1. APOLOGIES**

To receive any apologies for absence.

**2. CONFIRMATION OF VOTING MEMBERS**

A representative of each political group will confirm the voting members of the committee.

**3. NOTIFICATION OF ANY ITEMS OF BUSINESS WHICH THE CHAIR DEEMS URGENT**

In special circumstances, an item of business may be added to an agenda within five clear days of the meeting.

**4. DISCLOSURE OF INTERESTS AND DISPENSATIONS**

Members to declare any interests and dispensation in respect of any item of business to be considered at this meeting.

**5. PJS PIZZA, 193 NEW KENT ROAD, LONDON SE1 4AG**

1 - 33

**ANY OTHER OPEN BUSINESS AS NOTIFIED AT THE START OF THE MEETING AND ACCEPTED BY THE CHAIR AS URGENT.**

**PART B - CLOSED BUSINESS****EXCLUSION OF PRESS AND PUBLIC**

The following motion should be moved, seconded and approved if the sub-committee wishes to exclude the press and public to deal with reports revealing exempt information:

“That the public be excluded from the meeting for the following items of business on the grounds that they involve the likely disclosure of exempt information as defined in paragraphs 1-7, Access to Information Procedure rules of the Constitution.”

**ANY OTHER CLOSED BUSINESS AS NOTIFIED AT THE START OF THE MEETING AND ACCEPTED BY THE CHAIR AS URGENT.**

Date: 19 September 2017

<b>Item No.</b> 5.	<b>Classification:</b> Open	<b>Date:</b> 27 September 2017	<b>Meeting Name:</b> Licensing Sub-Committee
<b>Report Title</b>		PJs Pizza, 193 New Kent Road, London SE1 4AG	
<b>Ward(s) of group(s) affected</b>		Chaucer	
<b>From</b>		Strategic Director of Environment and Social Regeneration	

## RECOMMENDATION

1. That the licensing sub-committee considers an application made by Watling Street Brewery Limited for a premises licence to be granted under the Licensing Act 2003 in respect of the premises known as PJs Pizza – 193 New Kent Road, London, SE1 4AG
2. Notes:
  - a) This application forms a new application for a premises licence, submitted under Section 17 of the Licensing Act 2003. The application is subject to representations from responsible authorities and is therefore referred to the sub-committee for determination.
  - b) Paragraphs 8 to 10 of this report provide a summary of the application under consideration by the sub-committee. A copy of the full application is attached as Appendix A.
  - c) Paragraphs 11 to 15 of this report deal with the representations submitted in respect of the application. Copies of the representations submitted responsible authorities are attached to this report in Appendix B, though these have subsequently been conciliated. Representations from other persons are attached at Appendix C. A map showing the location of the premises is attached to this report as Appendix D.
  - d) A copy of the council's approved procedure for hearings of the sub-committee in relation to an application made under the Licensing Act 2003, along with a copy of the hearing regulations, has been circulated to all parties to the meeting.

## BACKGROUND INFORMATION

### The Licensing Act 2003

3. The Licensing Act 2003 provides a licensing regime for:
  - The sale of and supply of alcohol
  - The provision of regulated entertainment
  - The provision of late night refreshment.
4. Within Southwark, the licensing responsibility is wholly administered by this council.
5. The Act requires the licensing authority to carry out its functions under the Act with a view to promoting the four stated licensing objectives. These are:
  - The prevention of crime and disorder
  - The promotion of public safety
  - The prevention of nuisance.

- The protection of children from harm
6. In carrying out its licensing functions, a licensing authority must also have regard to
- The Act itself
  - The guidance to the act issued under Section 182 of the Act
  - Secondary regulations issued under the Act
  - The licensing authority's own statement of licensing policy
  - The application, including the operating schedule submitted as part of the application
  - Relevant representations.
7. The premises licence application process involves the provision of all relevant information required under the Act to the licensing authority with copies provided by the applicant to the relevant responsible bodies under the Act. The application must also be advertised at the premises and in the local press. The responsible authorities and other persons within the local community may make representations on any part of the application where relevant to the four licensing objectives.

## KEY ISSUES FOR CONSIDERATION

### The premises licence application

8. On 1 August 2017 Raheel Choudhary applied to this council for the grant of a premises licence in respect of PJs Pizza – 193 New Kent Road, London, SE1 4AG. The premises are described in the application simply as being:

*"[A] Pizzeria restaurant and take away."*

9. The application and is summarised as follows:

The provision of late night refreshment (both indoors and outdoors):

- Sunday to Thursday 23:00 to 01:30 (the following day)
- Friday and Saturday 23:00 to 04:30 (the following day)

Opening hours

- Sunday to Thursday 09:30 to 01:30 (the following day)
- Friday and Saturday 09:30 to 04:30 (the following day)

10. The premises licence application form provides the applicant's operating schedule. Parts A, B, C, E, F, G, H, I, J, K, L, and M of the operating schedule set out the proposed licensable activities, operating hours and operating control measures in full, with reference to the four licensing objectives as stated in the Licensing Act 2003. Should a premises licence be issued in respect of the application the information provided in part M of the operating schedule will form the basis of conditions that will be attached to any licence granted subsequent to the application. A copy of the application and premises plan is attached to this report in Appendix A.

### Representations from responsible authorities

11. Representations have been submitted by the Metropolitan Police (Licensing Division) and this council's planning authorities. Both representations have subsequently been withdrawn through mediation.
12. The Metropolitan Police Service made a representation is based upon the licensing objectives of the prevention of crime and disorder and the prevention of public nuisance. The author is concerned that the applicant's hours were excessive.

The following conditions have been agreed to be added to the Applicant's Operating Schedule:

1. That a CCTV system be installed at the premises and be maintained in good working order and be continually recording at all times the premises are in use. The CCTV System must be capable of capturing a clear facial image of every person who enters the premises and public areas within the premises;
2. All CCTV footage be kept for a period of 31 days and shall on request be made immediately available to officers of the police and the council;
3. A member of staff should be on duty at all times the premises is open that is trained in the use of the CCTV and able to view and download images to a removable device on request of Police or council officer;
4. Mopeds will not park on the pavement;

The applicant has agreed to amend the opening hours, so that takeaways from the premises would finish at 01:00hrs daily following, however, deliveries would continue on Friday and Saturday until 04:30hrs. Therefore the hours would be amended as follows:

The provision of late night refreshment (indoors):

- Monday to Sunday 23:00 to 01:00 (the following day)

The provision of late night refreshment (outdoors – deliveries only):

- Monday to Sunday 23:00 to 01:00 (the following day)
- Friday and Saturday 23:00 to 04:30 (the following day)

Opening hours to the public

- Monday to Sunday 09:30 to 01:00 (the following day)

The representation is available in Appendix B. The email chain confirming the agreements and withdrawal follow.

13. The representation from Southwark Planning again raises concerns in relation to hours of operation and the proximity of the premises to residential properties. However, upon seeing the agreed times and conditions that the applicant had made with the Police, decided to withdraw their representation.

The representation is also available in Appendix B. The email chain confirming the agreements and withdrawal follow.

### **Representations from other persons**

14. Representations have been received from two other persons, all residents local to the premises. The representations relate to licensing objectives of the prevention of crime and disorder and the prevention of public nuisance. The concerns surround the proximity of the premises to residential properties and the potential for associated nuisance with a licensed premises opening so late. These representations are available in Appendix C.

### **Conciliation**

15. The applicant's legal representative was sent copies of the submitted representations. The representations from the responsible authorities have been

conciliated as above. The representations by local residents remain the applicant as not asked the council to approach the local resident objectors on their behalf.

16. The resident objectors have been written to with the conditions and varied times as agreed with the responsible authorities. At the point that this report was published, no response had been received.

### Premises history

17. The premises has been previously licenced under the name 'Good Man Chinese'. It was granted the provision of late night refreshment until 00:30 every day. This licence was surrendered in March 2010.
18. There is no history of complaints regarding the premises over the last 4 years.

### Map

19. A map showing the location of the premises is attached to this report as Appendix D. The following similarly licensed premises are in the immediate vicinity of the premises application:

- **Morleys – 161 New Kent Road, SE1 4AG**, licenced for:  
The provision of late night refreshment (indoors)  
 Sunday to Thursday 23:00 to 00:00 (midnight)  
 Friday and Saturday 23:00 to 01:00 (the following day)
- **Maxy's Fried Chicken – 175 New Kent Road, SE1 4AG**, licensed for:  
The provision of late night refreshment (indoors)  
 Monday to Saturday 23:00 to 02:00 (the following day)  
 Sunday 23:00 to 01:00 (the following day)
- **Lebanese Grill – 173 New Kent Road, SE1 4AG**, licensed for:  
The provision of late night refreshment (indoors)  
 Monday to Saturday 23:00 to 02:00 (the following day)  
 Sunday 23:00 to 01:00 (the following day)
- **La Cabana - 189 New Kent Road, SE1 4AG**, licensed for:  
The sale by retail of alcohol (on sales)  
 Monday to Thursday 11:00 to 01:00 (the following day)  
 Friday and Saturday 11:00 to 02:00 (the following day)  
 Sunday 11:00 to 23:30  
  
The provision of late night refreshment (indoors)  
 Monday to Thursday 11:00 to 01:30 (the following day)  
 Friday and Saturday 11:00 to 02:30 (the following day)  
 Sunday 11:00 to 00:00 (midnight)  
  
The provision of regulated entertainment in the form of live music, recorded music and the performance of dance (indoors)  
 Monday to Thursday 09:00 to 01:00 (the following day)  
 Friday and Saturday 09:00 to 02:00 (the following day)  
 Sunday 09:00 to 23:00
- **Petrol Station (MRH Newington) – 197-211 New Kent Road, SE1 4AG**, licensed for:  
The sale by retail of alcohol (off sales)  
 Monday to Sunday 08:00 to 23:00

The provision of late night refreshment (indoors)

Monday to Sunday

23:00 to 05:00 (the following day)

**Southwark council statement of licensing policy**

20. Council Assembly approved Southwark's statement of licensing policy 2011-14 on 12 October 2011 Council Assembly approved Southwark's Statement of Licensing Policy 2016-20 on 25 November 2015. The policy came into effect on 1 January 2016.
21. Further sections of the statement that are considered to be of particular relevance to the sub-committee's consideration are:
  - Section 3 - Purpose and Scope of the Policy which reinforces the four licensing objectives and the fundamental principles upon which this Authority relies in determining licence applications.
  - Section 5 – Determining Applications for Premises Licences and Club Premises certificates which explains how the policy works and considers issues such as location; high standards of management; and the principles behind condition setting.
  - Section 6 – Local Cumulative Impact Policies which sets out this Authority's approach to cumulative impact and defines the boundaries of the current special policy areas and the classifications of premises to which they apply. To be read in conjunction with Appendix B to the policy.
  - Section 7 – Hours of Operation which provides a guide to the hours of licensed operation that this Authority might consider appropriate by type of premises and (planning) area classification.
  - Section 8 – The Prevention of Crime and Disorder which provides general guidance on the promotion of the first licensing objective
  - Section 9 – Public Safety which provides general guidance on the promotion of the second licensing objective
  - Section 10 – The Prevention of Nuisance which provides general guidance on the promotion of the third licensing objective
  - Section 11 – The Protection of Children from Harm which provides general guidance on the promotion of the fourth licensing objective.
22. The purpose of Southwark's statement of licensing policy is to make clear to applicants what considerations will be taken into account when determining applications and should act as a guide to the sub-committee when considering the applications. However, the sub-committee must always consider each application on its own merits and allow exceptions to the normal policy where these are justified by the circumstances of the application.
23. Within Southwark's Statement of Licensing Policy, the premises are identified as being outside of a cumulative impact zone and as situated within a residential area. Relevant closing times recommended in the Statement of Licensing Policy for licensed premises in residential areas are as follows:
  - Closing time for restaurants and cafes is 23:00hrs daily
  - Take-aways are not considered appropriate for this area



### **Resource implications**

24. A fee of £190.00 has been paid by the applicant company in respect of this application being the statutory fee payable for premises within non-domestic rateable value bands D/E.

### **Consultations**

25. Consultation has been carried out on this application in accordance with the provisions of the Licensing Act 2003. A public notice was published in a local newspaper and similar notices were exhibited outside of the premises for a period of 28 consecutive days.

### **Community impact statement**

26. Each application is required by law to be considered upon its own individual merits with all relevant matters taken into account.

## **SUPPLEMENTARY ADVICE FROM OTHER OFFICERS**

### **Director of Law and Democracy**

27. The sub-committee is asked to determine the application for a premises licence under section 17 of the Licensing Act 2003.
28. The principles which sub-committee members must apply are set out below.

### **Principles for making the determination**

29. The general principle is that applications for premises licence applications must be granted unless relevant representations are received. This is subject to the proviso that the applicant has complied with regulations in advertising and submitting the application.
30. Relevant representations are those which:
- Are about the likely effect of the granting of the application on the promotion of the licensing objectives
  - Are made by an interested party or responsible authority
  - Have not been withdrawn
  - Are not, in the opinion of the relevant licensing authority, frivolous or vexatious.
31. If relevant representations are received then the sub-committee must have regard to them, in determining whether it is necessary for the promotion of the licensing objectives to:
- to grant the licence subject to:
    - The conditions mentioned in section 18 (2)(a) modified to such extent as the licensing authority considers necessary for the promotion of the licensing objectives
    - Any condition which must under section 19, 20 or 21 be included in the licence
  - to exclude from the scope of the licence any of the licensable activities to which the application relates
  - to refuse to specify a person in the licence as the premises supervisor
  - to reject the application.

## Conditions

32. The sub-committee's discretion is thus limited. It can only modify the conditions put forward by the applicant, or refuse the application, if it is necessary to do so. Conditions must be necessary and proportionate for the promotion of one of the four licensing objectives, and not for any other reason. Conditions must also be within the control of the licensee, and should be worded in a way which is clear, certain, consistent and enforceable.
33. The four licensing objectives are:
  - The prevention of crime and disorder
  - Public safety
  - The prevention of nuisance
  - The protection of children from harm
34. Members should note that each objective is of equal importance. There are no other licensing objectives, and the four objectives are paramount considerations at all times.
35. Conditions will not be necessary if they duplicate a statutory position. Conditions relating to night café and take away aspect of the license must relate to the night time operation of the premises and must not be used to impose conditions which could not be imposed on day time operators.
36. Members are also referred to the Home Office Revised Guidance issued under section 182 of the Licensing Act 2003 on conditions, specifically section 10.

## Reasons

37. If the sub-committee determines that it is necessary to modify the conditions, or to refuse the application for a premises licence application, it must give reasons for its decision.

## Hearing procedures

38. Subject to the licensing hearing regulations, the licensing committee may determine its own procedures. Key elements of the regulations are that:
  - The hearing shall take the form of a discussion led by the authority. Cross examination shall not be permitted unless the authority considered that it is required for it to consider the representations.
  - Members of the authority are free to ask any question of any party or other person appearing at the hearing.
  - The committee must allow the parties an equal maximum period of time in which to exercise their rights to:
    - Address the authority
    - If given permission by the committee, question any other party.
    - In response to a point which the authority has given notice it will require clarification, give further information in support of their application.
  - The committee shall disregard any information given by a party which is not relevant to the particular application before the committee and the licensing objectives.

- The hearing shall be in public, although the committee may exclude the public from all or part of a hearing where it considers that the public interest in doing so outweighs the public interest in the hearing, or that part of the hearing, taking place in private.
  - In considering any representations or notice made by a party the authority may take into account documentary or other information produced by a party in support of their application, representations or notice (as applicable) either before the hearing or, with the consent of all the other parties, at the hearing.
39. This matter relates to the determination of an application for a premises licence under section 17 of the Licensing Act 2003. Regulation 26(1) (a) requires the sub-committee to make its determination at the conclusion of the hearing.

### **Council's multiple roles and the role of the licensing sub-committee**

40. Sub-committee members will note that, in relation to this application, the council has multiple roles. Council officers from various departments have been asked to consider the application from the perspective of the council as authority responsible respectively for environmental health, trading standards, health and safety and as the planning authority.
41. Members should note that the licensing sub-committee is meeting on this occasion solely to perform the role of licensing authority. The sub-committee sits in quasi-judicial capacity, and must act impartially. It must offer a fair and unbiased hearing of the application. In this case, members should disregard the council's broader policy objectives and role as statutory authority in other contexts. Members must direct themselves to making a determination solely based upon the licensing law, guidance and the council's statement of licensing policy.
42. As a quasi-judicial body the licensing sub-committee is required to consider the application on its merits. The sub-committee must take into account only relevant factors, and ignore irrelevant factors. The decision must be based on evidence, that is to say material, which tends logically to show the existence or non-existence of relevant facts, or the likelihood or unlikelihood of the occurrence of some future event, the occurrence of which would be relevant. The licensing sub-committee must give fair consideration to the contentions of all persons entitled to make representations to them.
43. The licensing sub-committee is entitled to consider events outside of the premises if they are relevant, i.e. are properly attributable to the premises being open. The proprietors do not have to be personally responsible for the incidents for the same to be relevant. However, if such events are not properly attributable to the premises being open, then the evidence is not relevant and should be excluded. Guidance is that the licensing authority will primarily focus on the direct impact of the activities taking place at the licensed premises on members of the public, living, working or engaged in normal activity in the area concerned.
44. Members will be aware of the council's code of conduct which requires them to declare personal and prejudicial interests. The code applies to members when considering licensing applications. In addition, as a quasi-judicial body, members are required to avoid both actual bias, and the appearance of bias.

The sub-committee can only consider matters within the application that have been raised through representations from other persons and responsible authorities. Other persons must live in the vicinity of the premises. This will be decided on a case to case basis.

45. Under the Human Rights Act 1998. The sub-committee needs to consider the balance between the rights of the applicant and those making representations to the application when making their decision. The sub-committee has a duty under section 17 Crime and Disorder Act 1998 when making its decision to do all it can to prevent crime and disorder in the borough.
46. Other persons, responsible authorities and the applicant have the right to appeal the decision of the sub-committee to the magistrates' court within a period of 21 days beginning with the day on which the applicant was notified by the licensing authority of the decision to be appealed against.

### Guidance

47. Members are required to have regard to the Home Office revised guidance in carrying out the functions of licensing authority. However, guidance does not cover every possible situation, so long as the guidance has been properly and carefully understood, members may depart from it if they have reason to do so. Full reasons must be given if this is the case.

### BACKGROUND DOCUMENTS

Background Papers	Held At	Contact
Licensing Act 2003 Home Office revised guidance to the Act Secondary Regulations Southwark statement of licensing Policy Case file	Southwark Licensing, c/o Community Safety and Enforcement, 160 Tooley Street, London, SE1 2QH	Kirby Read Tel: 020 7525 5748

### APPENDICES

Name	Title
Appendix A	Application for a premises licence
Appendix B	Representations submitted by responsible authorities and their subsequent withdrawal communications.
Appendix C	Representations submitted by other persons
Appendix D	Map of the local area

**AUDIT TRAIL**

<b>Lead Officer</b>	Deborah Collins, Strategic Director of Environment and Social Regeneration		
<b>Report Author</b>	Andrew Heron, Principal Licensing Officer		
<b>Version</b>	Final		
<b>Dated</b>	7 September 2017		
<b>Key Decision?</b>	No		
<b>CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER</b>			
<b>Officer Title</b>	<b>Comments sought</b>	<b>Comments included</b>	
Director of Law and Democracy	Yes	Yes	
Strategic Director of Finance and Governance	No	No	
<b>Cabinet Member</b>	No	No	
Date final report sent to Constitutional Team		14 September 2017	

01/08/2017

Business - Application for a premises licence to be granted under the Licensing Act 2003

Ref No. 861149

## Name of Applicant

Please enter the name(s) who is applying for a premises licence under section 17 of the Licensing Act 2003 and am making this application to you as the relevant licensing authority in accordance with section 12 of the Licensing Act 2003

	Raheel Choudhary
--	------------------

## Premises Details

Non-domestic rateable value of premises in order to see your rateable value click here (opens in new window)

£	12000
	Band D and E only applies to premises which uses exclusively or primarily for the supply of alcohol for consumption on the premises
	No

## Premises trading name

	PJs Pizza
--	-----------

Postal address of premises or, if none, ordnance survey map reference or description

Address Line 1	193 NEW KENT ROAD
Address Line 2	
Town	LONDON
County	
Post code	SE1 4AG
Ordnance survey map reference	
Description of the location	Pizzeria Restaurant
Telephone number	

## Applicant Details

Please select the capacity in which you are applying to convert your existing licence

	An individual or individuals
--	------------------------------

If you applying as an individual or non-individual please select one of the following:-

	I am carrying on or proposing to carry on a business which involves the use of the  premises for licensable activities
--	--

#### Details of Individual Applicant

##### Personal Details

Title	Mr
If other, please specify	
Surname	Choudhary
Forenames	Raheel
I am 18 years old or over	Yes

##### Current Address

Street number or Building name	█
Street Description	██████
Town	██████████
County	████
Post code	██████

##### Contact Details

Daytime contact telephone number	██████████
Email Address	██████████

Do you wish to add a second individual applicant?

	No
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#### Operating Schedule

When do you want the premises licence to start?

	01/10/2017
--	------------

If you wish the licence to be valid only for a limited period, when do you want it to end?

--	--

General description of premises ( see guidance note 1 )

	Pizzeria Restaurant & Take Away
--	---------------------------------

Please select the range of the number of people expected to attend the premises at any one time.

	Less than 5000
If 5,000 or more people are expected to attend the premises at any one time. Please state the number expected to attend	

Operating Schedule part 2

What licensable activities do you intend to carry on from the premises?

	(Please see sections 1 and 14 of the Licensing Act 2003 and schedule 1 and 2 to the Licensing Act 2003)
--	---

Provision of regulated entertainment


Provision of late night refreshment

	i) Late night refreshment
--	---------------------------

Supply of alcohol

--	--

I - Late Night Refreshment



Will the provision of late night refreshment take place indoors or outdoors or both? ( Please read guidance note 2 )

	Both
--	------

Please give further details here ( Please read guidance note 3 )

	Pizza Restaurant & Delivery, Take Away
--	--

Standard days & timings for Late night refreshment (Late night start time is from 23.00, see guidance notes 6)

Day	Start	Finish
Mon	23:00	01:30
Tues	23:00	01:30
Wed	23:00	01:30
Thur	23:00	01:30
Fri	23:00	04:30
Sat	23:00	04:30
Sun	23:00	01:30

State any seasonal variations for the provision of late night refreshment ( Please read guidance note 4 )

--	--

Non standard timings. Where you intend to use the premises for the provision of late night refreshment at different times, to those listed. Please list, ( Please read guidance note 5 )

--	--

K

Please highlight any adult entertainment or services, activities, other entertainment or matters ancillary to the use of the premises that may give rise to concern in respect of children ( Please read guidance note 8 )

	None
--	------

L - Hours premises are open to public

Hours premises are open to the public ( standard timings Please read guidance note 6 )

Day	Start	Finish
Mon	09:30	01:30
Tues	09:30	01:30

Wed	09:30	01:30
Thur	09:30	01:30
Fri	09:30	04:30
Sat	09:30	04:30
Sun	09:30	01:30

State any seasonal variations ( Please read guidance note 4 )

--	--

Non standard timings. Where you intend to use the premises to be open to the public at different times from those listed. Please list, ( Please read guidance note 5 )

--	--

M - Steps to promote four licencing objectives

a) General - all four licensing objectives (b,c,d,e) ( Please read guidance note 9 )

	We have trained all staff to understand the four licensing objectives, we will put up notices for our customers to leave the premises quietly, we will set a regular patrol around the shop for rubbish, we will monitor activity through CCTV to ensure public safety, there will be a dedicated staff handler for children
--	--

b) the prevention of crime and disorder

	We have installed CCTV systems to record and monitor activity, the police and other law enforcement agencies will have access, staff have been trained to tackle disorderly customers
--	---

c) public safety

	We have installed CCTV systems that the police can use, we will ensure that disabled users are given appropriate help. We will not engage in any activity that may put the public at risk
--	---

d) the prevention of public nuisance

	We respect our neighbors and will keep the street clean of litter and keep noise to a minimum and ask our customers to do the same
--	--

e) the protection of children from harm

	The manager on duty will be available to deal with issues relating to children
--	--

Please upload a plan of the premises

	<a href="#">Elephant-and-Castle-Plan.pdf</a>
--	--

Please upload any additional information i.e. risk assessments

--	--

Checklist

	<p>I have enclosed the plan of the premises.</p> <p>I understand that I must now advertise my application.</p> <p>I understand that if I do not comply with the above requirements my application will be rejected.</p>
--	---

Home Office Declaration

Please tick to indicate agreement

	<input type="checkbox"/> I am not a company or limited liability partnership
--	--

Proof of Entitlement to work in the UK

Please upload proof of entitlement to work in the UK

	<a href="#">Raheel-Passport.pdf</a>
--	-------------------------------------

Declaration

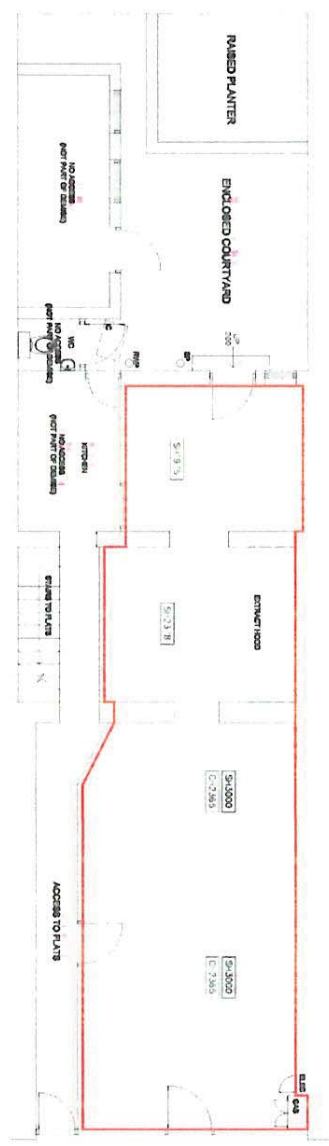
I agree to the above statement

	Yes
PaymentDescription	
AuthCode	
LicenceReference	
PaymentContactEmail	

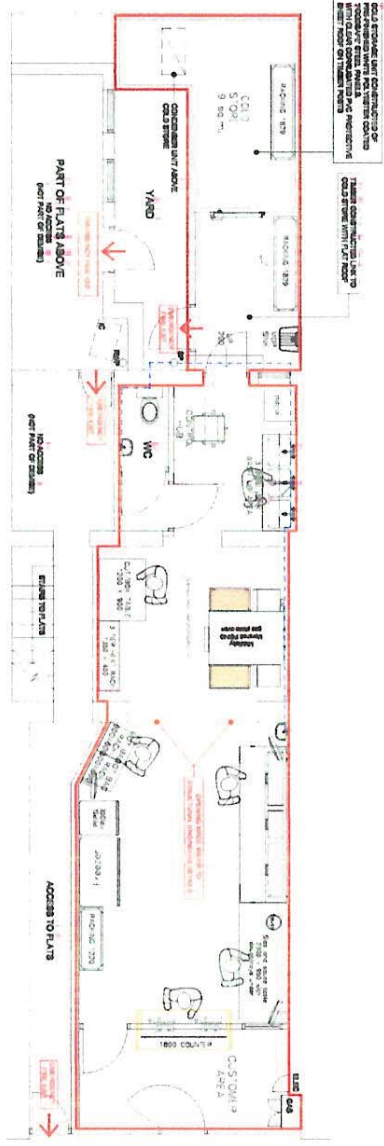
The information you provide will be used fairly and lawfully and Southwark Council will not knowingly do anything which may lead to a breach of the Data Protection Act 1998.



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Journal of Internal Medicine 247: 361–367



**GROUND FLOOR**  
54.9sq.m. / 591sq.ft.



**GROUND FLOOR**  
71.9sq.m. / 774sq.ft.

MARTIN  
DESIGN

Case	Year	Age	Sex	Site
1	1981	45	M	Stomach
2	1982	55	F	Stomach
3	1983	65	M	Stomach
4	1984	75	F	Stomach
5	1985	85	M	Stomach
6	1986	95	F	Stomach
7	1987	105	M	Stomach
8	1988	115	F	Stomach
9	1989	125	M	Stomach
10	1990	135	F	Stomach
11	1991	145	M	Stomach
12	1992	155	F	Stomach
13	1993	165	M	Stomach
14	1994	175	F	Stomach
15	1995	185	M	Stomach
16	1996	195	F	Stomach
17	1997	205	M	Stomach
18	1998	215	F	Stomach
19	1999	225	M	Stomach
20	2000	235	F	Stomach

00894-03	1100	WAS	APR 4
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The Licensing Unit  
Floor 3  
160 Tooley Street  
London  
SE1 2QH

**Metropolitan Police Service**  
**Licensing Office**  
Southwark Police Station,  
323 Borough High Street,  
LONDON,  
SE1 1JL

Tel: 020 7232 6756  
Email: SouthwarkLicensing@met.police.uk

Our reference: MD/3010/17  
Date: 29<sup>th</sup> Aug 2017

Dear Sir/Madam

**Re:- PJs Pizza, 193 New Kent Road, London SE1 4AG**

Police are in possession of an application from the above for a new premises licence. The application describes the operation as a restaurant and take away.

The premises is situated in a parade of shops with a number of other take away restaurants below residential premises. It appears to be situated within a major town centre as designated by the Southwark Statement of Licensing policy. The recommended terminal hour under the policy is 01.00hrs.

The applicant has requested 01.30hrs Sunday to Thursday and 04.30hrs Friday and Saturday for late night refreshments. We object to the granting of the licence as it is in excess of the policy and the other premises situated nearby and would attract people to be in the area later and likely cause anti-social behaviour and public nuisance.

The applicant has offered a number of control measures as part of the application and we would like to see the following conditions placed on the licence if granted. The wording of each condition to be as below to avoid any ambiguity.

1. That a CCTV system be installed at the premises and be maintained in good working order and be continually recording at all times the premises are in use. The CCTV System must be capable of capturing a clear facial image of every person who enters the premises and public areas within the premises.
2. All CCTV footage be kept for a period of 31 days and shall on request be made immediately available to officers of the police and the council.
3. A member of staff should be on duty at all times the premises is open that is trained in the use of the CCTV and able to view and download images to a removable device on request of Police or council officer.

The Following is submitted for your consideration, Police would welcome the opportunity to conciliate should the need arise.

Yours Sincerely

Pc Graham White 288MD  
Southwark Police Licensing unit  
Southwark Police Station  
323 Borough High Street  
SE1 1JL  
0207 232 6756

**Heron, Andrew**

---

**From:** Graham.S.White@met.pnn.police.uk on behalf of SouthwarkLicensing@met.pnn.police.uk  
**Sent:** 11 September 2017 16:31  
**To:** Heron, Andrew  
**Subject:** RE: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Andrew,  
 Yes we have 1am close except deliveries. And conditions as per rep.  
 On these terms we withdraw are objection  
 Regards  
 Graham

**PC Graham White 288MD**

*Southwark Police Licensing Unit  
 323 Borough High Street  
 London  
 SE1 1JL*

*Tel: 0207 232 6756 (726756)*

[SouthwarkLicensing@met.police.uk](mailto:SouthwarkLicensing@met.police.uk)  
[graham.white4@met.police.uk](mailto:graham.white4@met.police.uk)

---

**From:** Heron, Andrew [mailto:Andrew.Heron@southwark.gov.uk]  
**Sent:** 11 September 2017 16:07  
**To:** MD Mailbox - Southwark Licensing <SouthwarkLicensing@met.pnn.police.uk>  
**Subject:** FW: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Dear Police,

Dorcas was looking after this application whilst I was on leave.

The email chain below suggests that conditions have been agreed with the Police. Can you please confirm and advise whether or not your representation still stands? I understood that you had asked for the following:

1. *That a CCTV system be installed at the premises and be maintained in good working order and be continually recording at all times the premises are in use. The CCTV System must be capable of capturing a clear facial image of every person who enters the premises and public areas within the premises;*
2. *All CCTV footage be kept for a period of 31 days and shall on request be made immediately available to officers of the police and the council;*
3. *A member of staff should be on duty at all times the premises is open that is trained in the use of the CCTV and able to view and download images to a removable device on request of Police or council officer.*

The email suggests that there is an additional conditions in relation to deliveries.

Regards,

Andrew Heron  
Principal Licensing Officer  
London Borough of Southwark  
Regulatory Services – Environment & Leisure  
020 7525 5767

**Address:** Licensing Unit, Hub 1, Floor 3, 160 Tooley Street, London, SE1 2QH

**Switchboard:** 020 7525 5000

**Website:** [www.southwark.gov.uk](http://www.southwark.gov.uk)

---

**From:** Mills, Dorcas  
**Sent:** Monday, September 11, 2017 12:17 PM  
**To:** Heron, Andrew  
**Subject:** FW: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Plus 4

---

**From:** R C [REDACTED]  
**Sent:** Saturday, September 09, 2017 3:48 PM  
**To:** Blackburn, Gavin  
**Cc:** Mills, Dorcas; Docherty, William  
**Subject:** Re: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Thats great.

Docras to confirm both the Police & Planning representations have been agreed on condition.

Thanks

Raheel

---

**From:** Blackburn, Gavin <[Gavin.Blackburn1@southwark.gov.uk](mailto:Gavin.Blackburn1@southwark.gov.uk)>  
**Sent:** 08 September 2017 09:16:43  
**To:** 'R C'  
**Cc:** Mills, Dorcas; Docherty, William  
**Subject:** RE: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Thanks Raheel, it does. Dorcas please note the agreed condition.

Kind regards

Gavin Blackburn

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**From:** R C [REDACTED]  
**Sent:** Thursday, September 07, 2017 7:42 PM  
**To:** Blackburn, Gavin  
**Cc:** Mills, Dorcas; Docherty, William  
**Subject:** RE: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Hi Gavin



I would accept this condition that no bike would be parked on the pavement as a licence condition, plus we would close for shop/takeaway customers at 1am and continue delivery until 4.30am on Friday/Saturday as agreed with the Police.

I hope that this resolves your representation

Thanks

Raheel

On 7 Sep 2017 18:33, "Blackburn, Gavin" <[Gavin.Blackburn1@southwark.gov.uk](mailto:Gavin.Blackburn1@southwark.gov.uk)> wrote:  
Raheel and Dorcas,

Would you be agreeable to a condition on the licence that no vehicles used to deliver or collect food will be brought onto or parked on the pavement, to protect pedestrian safety? If so and the shop is shut to the public from 1:00am that might resolve our objection.

Kind regards

Gavin Blackburn

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Hi William

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The pizza/food order will be taken in a hot bag to the parked moped by walk.

Also to update the police have agreed to allowing us to deliver until 4.30am providing we stop shop/takeaway orders at 1am.

I hope that helps.

Thanks

Raheel

On 7 Sep 2017 13:14, "Docherty, William" <[William.Docherty@southwark.gov.uk](mailto:William.Docherty@southwark.gov.uk)> wrote:  
Dear Raheel,

Thank you for the email.

Can you expand on how the mopeds will operate; Where will they park? How will the food / pizza's be taken to the mopeds?

Kind Regards

William Docherty

Planning Officer | Monitoring and Compliance

Chief Executive's Department  
Development Management  
5th Floor PO Box 64529  
London SE1P 5LX  
160 Tooley Street SE1 2QH

t: 0207-525-1997

e: [William.Docherty@southwark.gov.uk](mailto:William.Docherty@southwark.gov.uk)

[www.southwark.gov.uk](http://www.southwark.gov.uk)

---

**From:** R C [REDACTED]  
**Sent:** Thursday, August 31, 2017 8:58 AM  
**To:** Docherty, William  
**Cc:** Mills, Dorcas  
**Subject:** Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Dear Officer

We write in reply to your representation made on the 29th August 2017 in respect of our premises licence application.

We appreciate the comments made and are willing to compromise. We are also willing to cease serving customers at 2am & closing customer area down, only continuing delivery until 4.30am on Friday & Saturday with 2 mopeds, estimated 2-3 deliveries per hour after 2am. We measured the number of vehicles passing per hour after 2am to be over 500-750 including many lorries & trucks, our 2 mopeds would add 0.001% approximately to the increase in traffic this % would be similar addition to any public nuisance - the overall effect would be negligible. Further our neighbouring petrol station is 24 hours with constant vehicles coming in and out.

We hope this is acceptable and we can continue with our application.

Thanks

Raheel

---

**From:** Mills, Dorcas <[Dorcas.Mills@SOUTHWARK.GOV.UK](mailto:Dorcas.Mills@SOUTHWARK.GOV.UK)>  
**Sent:** 30 August 2017 18:22  
**To:** [REDACTED]  
**Cc:** Heron, Andrew  
**Subject:** FW: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Dear Sir

I refer to the application for grant of the Premises Licence under the Licensing Act 2003 in respect of the above premises.

**At this time I would urge you to make contact with the officers concerned in an effort to resolve these matters as soon as possible.**

However, if after considering the representation you feel that you would like to amend your operating schedule please do so in writing and send a copy to the Licensing Unit at the above address.

If you need further clarification of the above, please do not hesitate to contact me.

Yours faithfully

**Dorcas Mills**

*Principal Licensing Officer*

*London Borough of Southwark*

**E-mail:** [dorcas.mills@southwark.gov.uk](mailto:dorcas.mills@southwark.gov.uk)

**Phone:** 020 7525 5698

**Fax:** 020 7525 5705

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**To:** [REDACTED]

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**Subject:** FW: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

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**Heron, Andrew****PLANNING REP**

---

**From:** Jerrom, Charlie  
**Sent:** 29 August 2017 15:09  
**To:** Heron, Andrew  
**Subject:** FW: 193 New Kent Road, SE1 4AG - License reference: 859900

fyi

---

**From:** Docherty, William  
**Sent:** Tuesday, August 29, 2017 2:58 PM  
**To:** Regen, Licensing  
**Cc:** Jerrom, Charlie; Brittain, Alison  
**Subject:** 193 New Kent Road, SE1 4AG - License reference: 859900

Dear Charlie/Licensing,

The planning department wish to object to the licensing application on the grounds of prevention of public nuisance and potentially public safety:

All of the other Late Night refreshment operators in the vicinity are licensed until 02:00 at the latest on Friday and Saturdays. It is considered that the comings and goings of customers at the proposed 04:30 are likely to cause public nuisance to surrounding residents and that the delivering pizzas by motorised scooters at this time will do the same. It is therefore considered that hours of operation be bought in line with neighbouring businesses which are all licensed until 2am.

It is also considered that a condition relating to the parking of motorised vehicles including scooters to the front of the unit be prohibited in the interests of public safety and to prevent public nuisance.

Kind Regards

William Docherty  
 Planning Officer | Monitoring and Compliance

Chief Executive's Department  
 Development Management  
 5th Floor PO Box 64529  
 London SE1P 5LX  
 160 Tooley Street SE1 2QH

t: 0207-525-1997  
 e: [William.Docherty@southwark.gov.uk](mailto:William.Docherty@southwark.gov.uk)  
[www.southwark.gov.uk](http://www.southwark.gov.uk)

**Heron, Andrew**

---

**From:** Blackburn, Gavin  
**Sent:** 11 September 2017 16:01  
**To:** Heron, Andrew; Docherty, William  
**Subject:** RE: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Its withdrawn

---

**From:** Heron, Andrew  
**Sent:** Monday, September 11, 2017 3:59 PM  
**To:** Blackburn, Gavin; Docherty, William  
**Subject:** FW: Premises licence application - Forwarding representations - PJ Pizza, 193 New Kent Road, SE1

Dear Gavin/William,

Dorcas will dealing with this application whilst I was on leave. I have just received this email chain.

Further to the agreed condition, can you please advise if your representation still stands, or if it has been withdrawn?

Regards,

Andrew Heron  
 Principal Licensing Officer  
 London Borough of Southwark  
 Regulatory Services – Environment & Leisure  
 020 7525 5767

**Address:** Licensing Unit, Hub 1, Floor 3, 160 Tooley Street, London, SE1 2QH  
**Switchboard:** 020 7525 5000  
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**To:** Heron, Andrew  
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Plus 4

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Kind regards

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Planning Officer | Monitoring and Compliance

Chief Executive's Department  
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**Sent:** 30 August 2017 18:22  
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**Cc:** Heron, Andrew  
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Dear Sir

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**Dorcas Mills**  
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**From:** [REDACTED]  
**Sent:** Wednesday, August 16, 2017 4:45 PM  
**To:** Regen, Licensing  
**Subject:** Licensing Register - Applications for Premises Licences, Club Registrations, and Reviews Details for Licence Number: 859900

**Hello**

**I wish to make a representation against this proposed license. The late opening hours on the weekend will encourage crime and disorder as is evident at similar late night opening venues on Walworth Road.**

**The premises are right next to a pedestrian crossing on a busy road with fast traffic. Public safety is at risk especially if the late opening encourages parking around the crossing.**

**The area is already more than adequately served by fast food outlets in the same row of shops. The result is excessive food and packaging waste both around these outlets and in neighbouring streets and gardens. It is never adequately cleaned or cleared.**

**This nuisance will be exacerbated by an additional outlet adding more waste and for more hours of the night.**

[REDACTED]

[REDACTED] **16th August 2017**

[REDACTED]

**Please confirm receipt of this representation.**

Senders Email Address: [REDACTED]

Message:

Objection to the application for a licence from PJ's Pizzas, 193 New Kent Road, SE1 4AG

From

[REDACTED]

Date

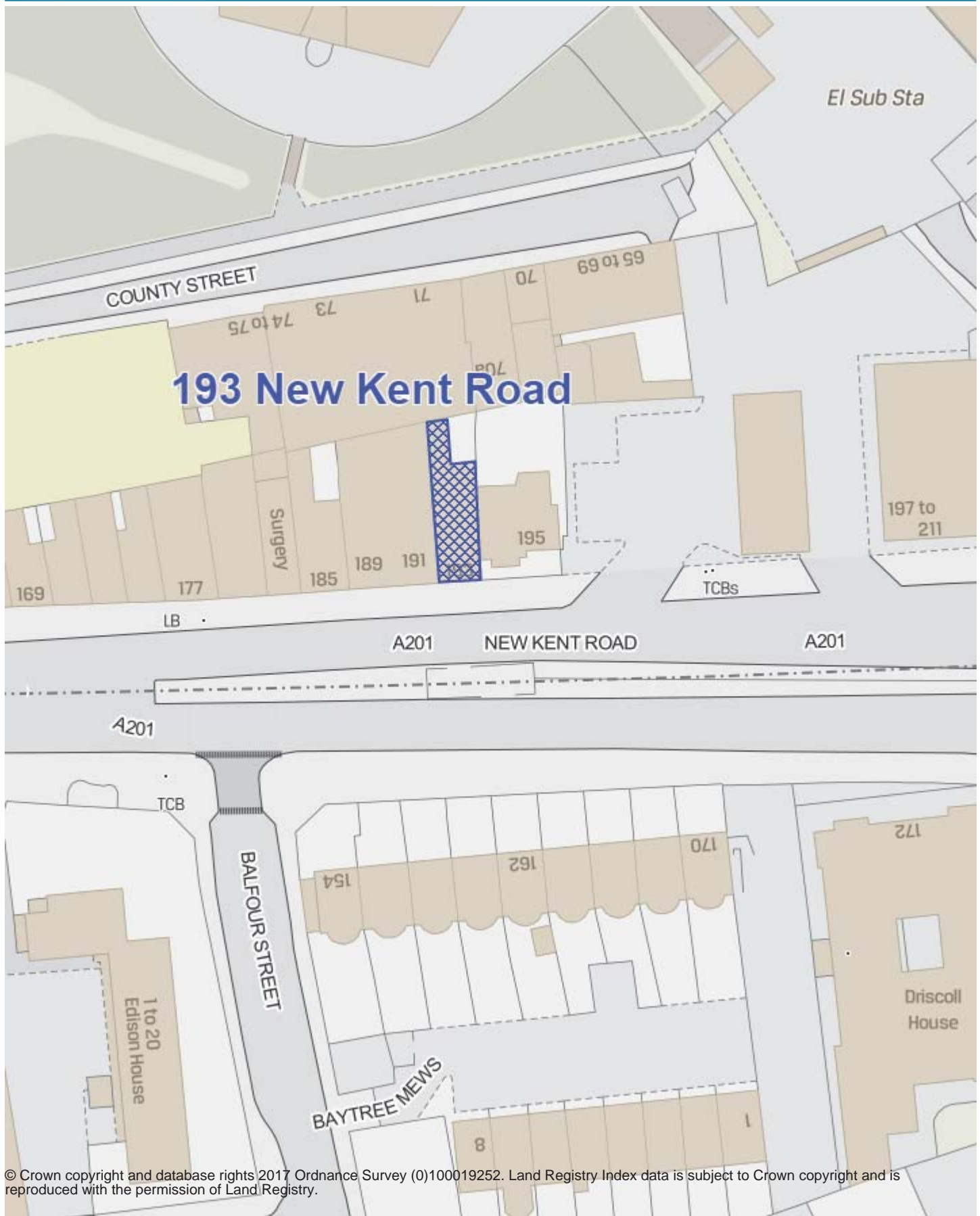
27 August 2017

I would like to object to the application for licence number 859900 by PJ's Pizzas at 193 New Kent Road, SE1 4AG on the grounds of potential public nuisance. The premises is located in an area that in recent years has been evolving into one that is primarily residential and increasingly losing the shabby, dirty, run down industrial appearance it once had.

My concern is that customers of PJ's Pizzas will only contribute to the fast-food rubbish and grease that presently accumulates along much of the pavement at the front of a terrace that already has seven fast-food outlets. Also with PJ's Pizzas proposing to open until 04:30 some days and 01:30 others there is the likelihood of customers creating noise and nuisance in the early hours of the morning.

That could adversely affect the residents of the neighbouring three-storey house, also residents whose properties back directly onto the rear of PJ's Pizzas at 70a & 71-73 County Street might be disturbed in the early hours by staff taking breaks and accessing the cold store at the rear of the premises.

[REDACTED]



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20 m

6-Sep-2017

Scale = 1 : 661 500

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**LICENSING SUB-COMMITTEE DISTRIBUTION LIST (OPEN) MUNICIPAL YEAR 2017-18**

**NOTE:** Original held by Constitutional Team; all amendments/queries to  
Andrew Weir - Tel: 020 7525 7222

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Councillor David Hubber	1	Andrew Heron, licensing team	1
Councillor Adele Morris	1		
<b>Reserve</b>			
Councillor Sunil Chopra		Andrew Weir (spares)	4
	By email		
		<b>Total printed copies:</b>	9
		<b>Dated:</b> 18 September 2017	